

**Dalton Township**  
1616 E. Riley Thompson Road  
Muskegon, Michigan 49445  
Zoning Dept: (231) 332-6706  
Phone: (231) 766-3043  
Fax: (231) 766-2636  
www.daltontownship.org/zoning

\$50.00

## TEMPORARY SPECIAL LAND USE APPLICATION

---

---

1. Applicant(s): \_\_\_\_\_

Address: \_\_\_\_\_

Telephone /Cell: \_\_\_\_\_ Email Address: \_\_\_\_\_

2. Owner/Business: (if different than above) \_\_\_\_\_

Address: \_\_\_\_\_

3. Telephone/Cell: \_\_\_\_\_ Email Address: \_\_\_\_\_

4. Legal Description: (See Attached)

5. Parcel Number of affected property: 61-07-\_\_\_\_\_

6. Zone Classification: \_\_\_\_\_

7. Present Use of Property: \_\_\_\_\_

8. Special Land Use Proposal:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Documents and information below will be provided prior to **Final Action (approval or denial)**. \*

1. \_\_\_\_\_ Site plan with scaled dimension.
2. \_\_\_\_\_ Site plan showing landscape: signs, easements, utilities, parking, street lights, etc.
3. \_\_\_\_\_ Application must be submitted, along with proper paperwork a minimum of 30 days before the date the Temporary Special Land Use Approval is to be in effect.
4. \_\_\_\_\_ Approval from the Health Department (if necessary).
5. \_\_\_\_\_ Site Inspection (if necessary).
6. \_\_\_\_\_ Fire Chief Inspection (if necessary)

Please answer the following questions in detail:

1. How will the proposed use impact the surrounding properties as it relates to the following areas?

Noise: \_\_\_\_\_  
\_\_\_\_\_

Dust: \_\_\_\_\_  
\_\_\_\_\_

Odor: \_\_\_\_\_  
\_\_\_\_\_

Safety: \_\_\_\_\_  
\_\_\_\_\_

Traffic: \_\_\_\_\_  
\_\_\_\_\_

Light: \_\_\_\_\_  
\_\_\_\_\_

3. What are the proposed hours of operation? \_\_\_\_\_  
\_\_\_\_\_

4. Are you required to obtain any special license or permits through any other government agency? \_\_\_\_\_  
\_\_\_\_\_

If yes, what type of licenses and permits are required? \_\_\_\_\_  
\_\_\_\_\_

5. If this application is for day care, how many children will you be caring for? \_\_\_\_\_  
\_\_\_\_\_

6. If this application is for an assisted living facility, how many units will you have in the facility?  
\_\_\_\_\_

7. How many employees/shifts will work at the facility? \_\_\_\_\_  
\_\_\_\_\_

**Note:** \* Depending upon the size, complexity, location or other factor relating to the proposed Special Land Use, some of the above information may not be necessary. The Zoning Administrator may request you provide additional documents if needed. The more information you supply with this application, the earlier he/she can render a decision.

I hereby grant permission for members of the Dalton Township Planning Commission, Zoning Board of Appeals, Township Board, Zoning Administrator, Building Inspector, and or Fire Chief to enter the property as described in the attached application for the purpose of gathering information related to this application or request.

I (we) hereby swear and attest that the information is true and accurate according to my knowledge.

**THIS APPLICATION WILL NOT BE PROCESSED UNTIL ALL THE REQUIRED INFORMATION IS RECEIVED.**

\_\_\_\_\_  
*Signature of Applicant(s)*

\_\_\_\_\_  
*Date*

\_\_\_\_\_  
*Signature of Applicant(s)*

\_\_\_\_\_  
*Date*

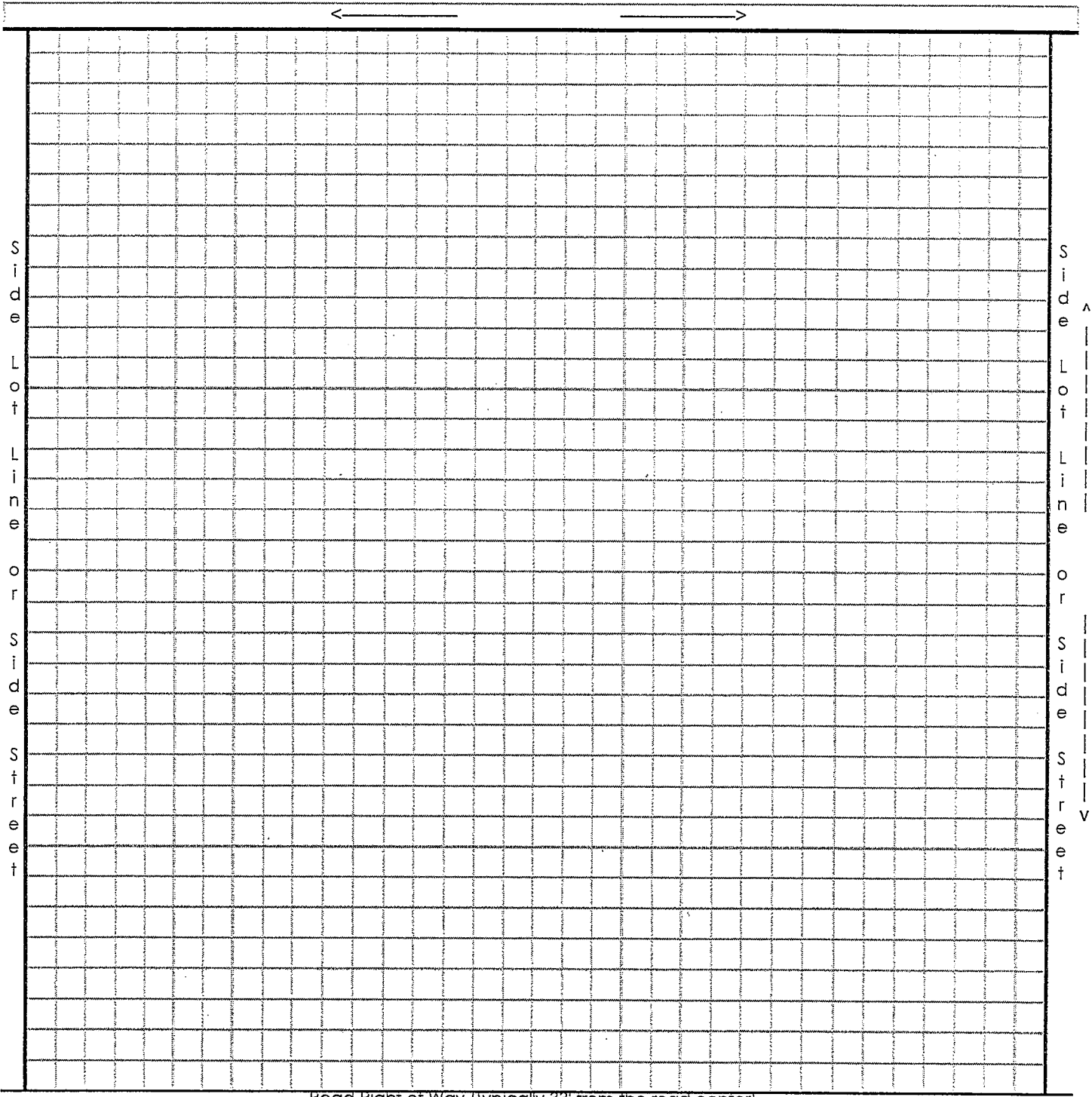
\_\_\_\_\_  
*Signature of owner (if different from applicant)*

\_\_\_\_\_  
*Date*

# Site Plan of Property and Location of ALL Structures

**\* Important \*** Show all Existing and Proposed Structures; Owner Name and Address, Parcel #, Street Name, North Arrow, Parcel Dimension, Existing Structures including setbacks and approaches, Proposed Structures including setbacks and approaches, Front Rear and Side Yard Setbacks, Well and Septic, Driveway (access) with pavement type, decks, cement patios, cement walkways.

Parcel #: \_\_\_\_\_ Zoning: \_\_\_\_\_ Dimensions: \_\_\_\_\_



Site Address: \_\_\_\_\_

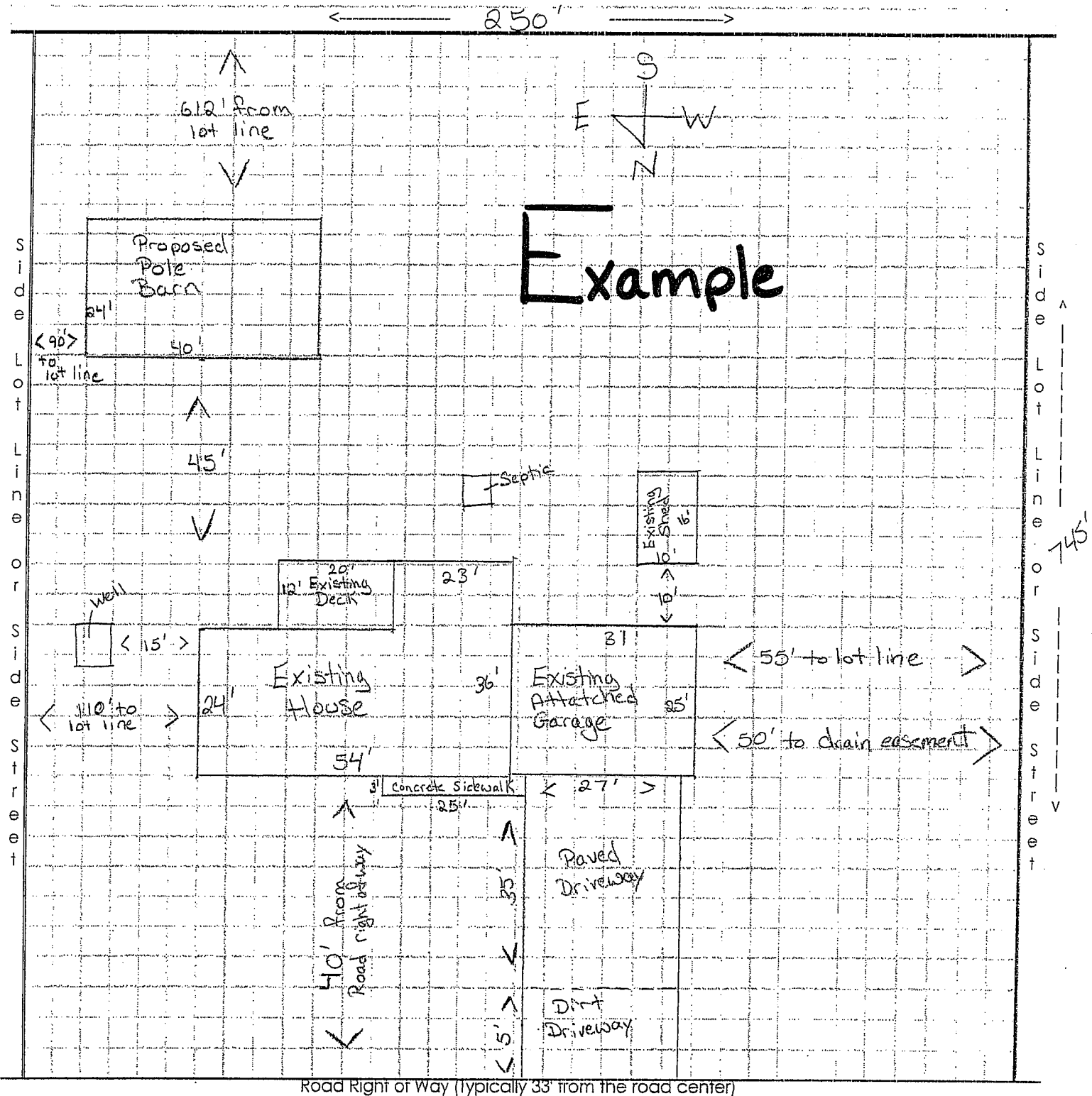
Owner Name: \_\_\_\_\_

# Residential Example

## Site Plan of Property and Location of ALL Structures

**\* Important \*** Show all Existing and Proposed Structures; Owner Name and Address, Parcel #, Street Name, North Arrow, Parcel Dimension, Existing Structures including setbacks and approaches, Proposed Structures including setbacks and approaches, Front Rear and Side Yard Setbacks, Well and Septic, Driveway (access) with pavement type, decks, cement patios, cement walkways.

Parcel #: 61-07-000-000-00      Zoning: R1      Dimensions: 250' x 745'



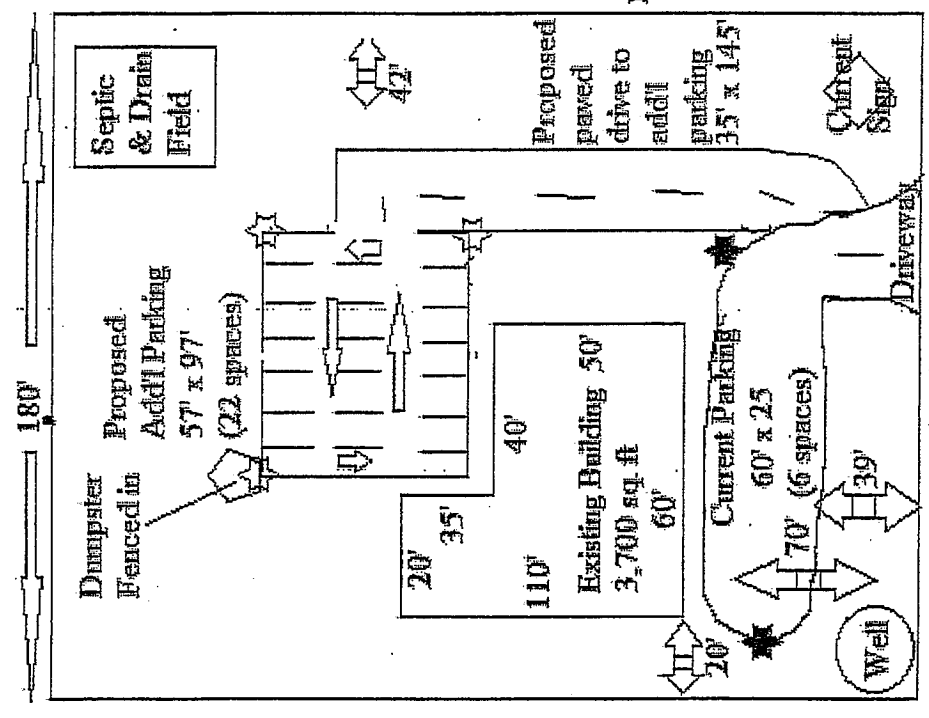
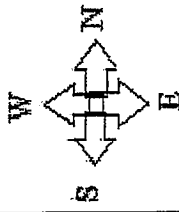
Road Right of Way (Typically 33' from the road center)

Site Address: 1234 Applesauce Lane

Owner Name: Bob Trophyman

**EXAMPLE COMMERCIAL SITE PLAN**

Parcel Number: 61 - 07 - 000 - 000 - 0000 - 00



★ Current Lights  
☆ Proposed Lights

Property Owner: John Doe  
 Applicant: Jane Doe (231) 000-0000  
 Address: 100 Dalton Street  
 Zoning: C-2

100 Dalton Street  
(street access)

## Dalton Township Minimum Requirement for Lot Size & Setbacks

### **Agricultural/Resource Conservation**

1. Minimum lot area – 5 acres
2. Min. lot width – 250 feet
3. Max lot coverage – 10%
4. Max bldg height – 2.5 stories or 35 feet, whichever is less
5. Front yard setback – 50 feet
6. Side yard setback – 25 feet
7. Rear yard setback – 50 ft min.
8. Min floor area – 1,000 sq feet & a min. core area of living space measuring at least 20 x 20 ft. in size.

### **C-1 Neighborhood Commercial**

1. Minimum lot area – 20,000 sq. ft.
2. Maximum lot area – one acre
3. If served by sewer – min. lot size is 15,000 sq. ft.
4. Min. lot width – 100 feet
5. Max bldg ht – 2.5 stories or 35 feet,
6. Max lot coverage – 60%
7. Front yard setback – 50 feet
8. Side yard setback – 25 feet
9. Rear yard setback – 40 feet

### **C-2 Regional Commercial**

1. Minimum lot area – 20,000 sq. ft.
2. If connected to pub. Sewer – min lot size is 15,000 sq. ft.
3. Min. lot width – 100 feet.
4. Max lot coverage – 60%
5. Max bldg. height – 2.5 stories or 35 ft, whichever is less.
6. Front yard setback – 40 feet.
7. Side yard setback – 20 feet.
8. Rear yard setback – 25 feet.

### **R-1 Low Density Residential**

1. Minimum lot area – 1 acre
2. Min lot width – 150 feet
3. Max lot coverage – 15%
4. Max bldg ht – 2.5 stories or 35 feet, whichever is less
5. Front yard setback – 40 feet
6. Side yard setback – 15 feet
7. Rear yard setback – 30 feet
8. Minimum floor area -1000 sq. ft. & a min. core living space of 20 by 20 feet in size.

### **R-2 Medium Density Residential**

1. Minimum lot area – 1 acre
2. If served by water & sewer and part of a subdivision, site condo, or PUD – min lot size shall be 10,000 sq. ft.
3. Min lot width – 110 feet
4. Max lot coverage – 25%
5. Max bldg ht – 2.5 stories or 35 feet, whichever is less
6. Front yard setback – 40 feet
7. Side yard setback – 15 feet
8. Rear yard setback – 25 feet
9. Minimum floor area -1000 sq ft & a min. core living space of 20 by 20 feet in size
10. Any subdivision, site condo, or multi-family dwelling located in this district shall be connected to public sewer and water.

### **RM – Manufactured Home District – outside of a Man. Home park.**

1. Min. lot size - 20,000 sq. ft.
2. Min. lot width – 75 feet
3. Max lot coverage – 25%
4. Front yard setback – 40 feet
5. Side yard setback – 15 feet
6. Rear yard setback – 25 feet
7. Min. floor area – 760 sq. ft. with a min. core living area in accordance to Section 4.12 of the Zoning Ordinance.

### **D-1 Industrial District**

1. Min. lot area – 40,000 sq. ft.
2. Min lot width – 200 ft.
3. Max lot coverage – 35%
4. Front yard setback – 70 feet
5. Side yard setback – 30 feet.
6. Rear yard setback – 30 feet.

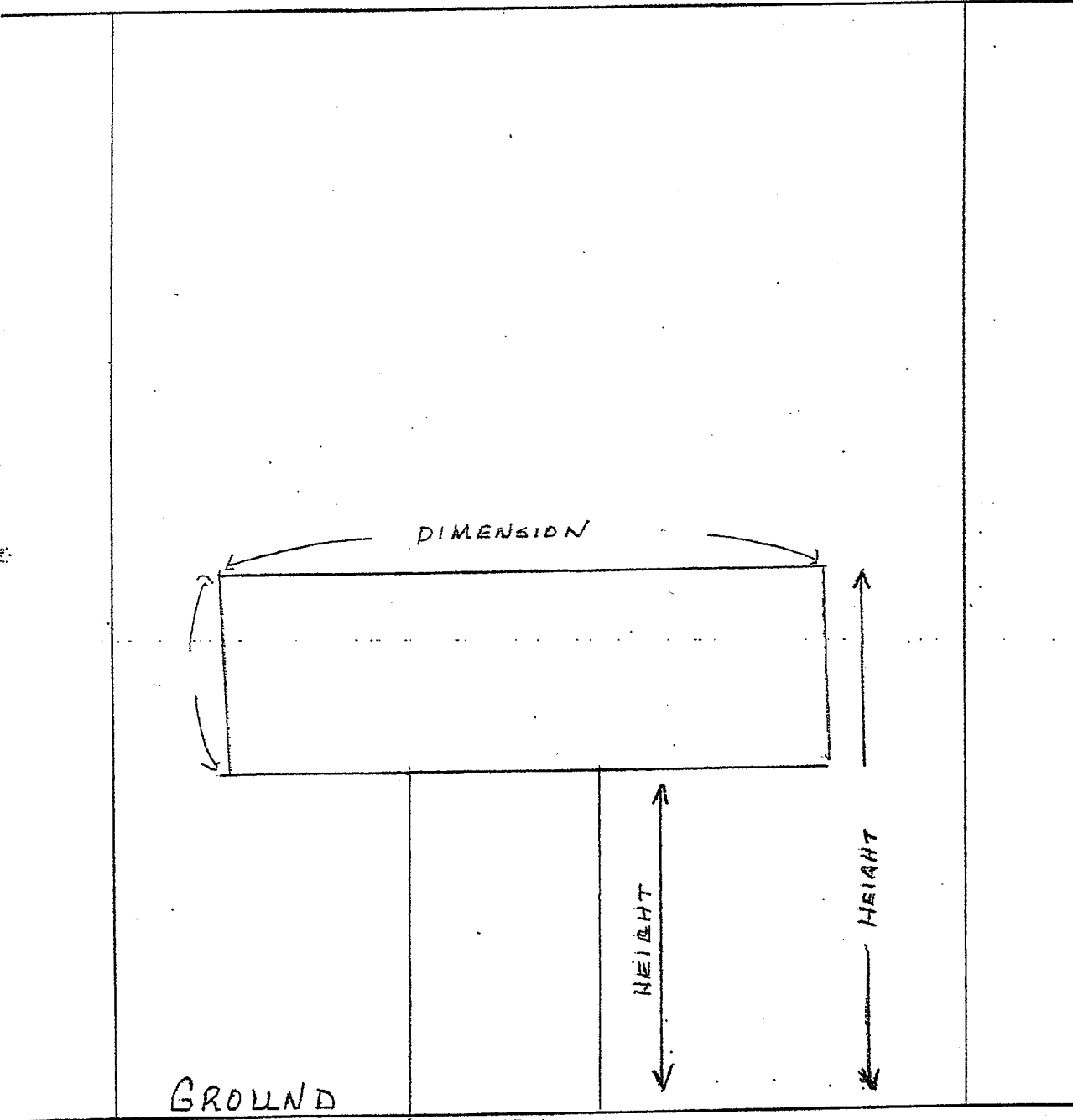
\*\*Waterfront setback is 100 feet in any district.

\*Accessory buildings shall have a max building height of 24 feet. Setbacks for Acc. Bldgs is 6' from rear & side yards – measured from eaves; in C1, C2, and D1, Acc. Bldgs over 200 sq. ft. have different setbacks.

**REVISED: 2-4-2016**

# SIGN

Parcel #: \_\_\_\_\_ Dimensions: \_\_\_\_\_



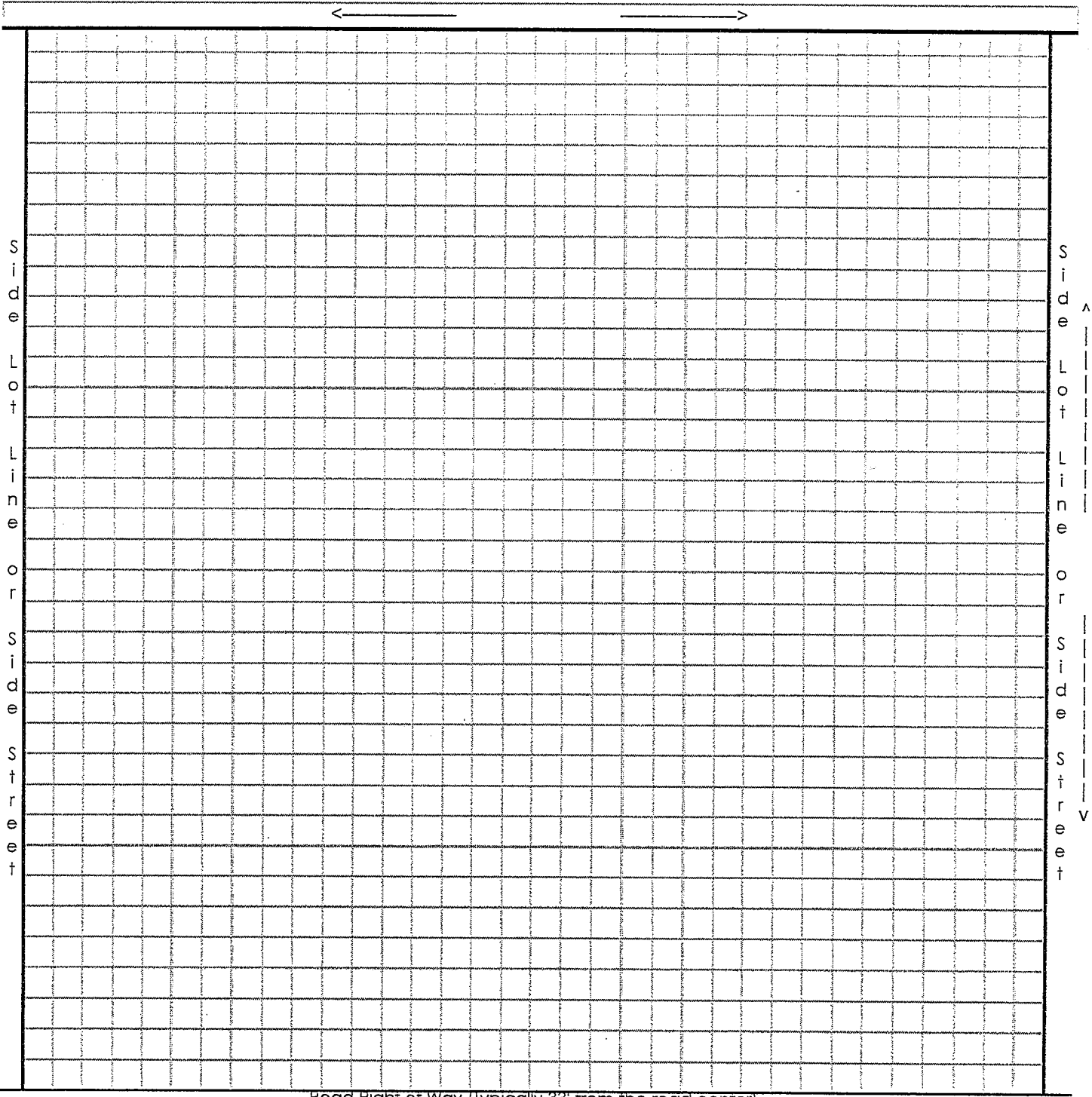
Site Address: \_\_\_\_\_



# Site Plan of Property and Location of ALL Structures

**\* Important \*** Show all Existing and Proposed Structures; Owner Name and Address, Parcel #, Street Name, North Arrow, Parcel Dimension, Existing Structures including setbacks and approaches, Proposed Structures including setbacks and approaches, Front, Rear and Side Yard Setbacks, Well and Septic, Driveway (access) with pavement type, decks, cement patios, cement walkways.

Parcel #: \_\_\_\_\_ Zoning: \_\_\_\_\_ Dimensions: \_\_\_\_\_



Site Address: \_\_\_\_\_ Owner Name: \_\_\_\_\_