

**Dalton Township**  
 1616 E. Riley Thompson Rd  
 Muskegon, Michigan 49445  
 Phone: (231)766-3043  
 Fax: (231) 766-2636  
 Zoning Dept: (231) 332-6706  
 www.daltontownship.org

**FEE: \$250.00**  
 Plus any additional  
 professional fees

**SITE PLAN REVIEW APPLICATION**

Applicant(s): \_\_\_\_\_

Business name: \_\_\_\_\_

Applicants Address: \_\_\_\_\_

Phone/Cell: \_\_\_\_\_ Email: \_\_\_\_\_

Owner/Business: (If different from above): \_\_\_\_\_

Address: \_\_\_\_\_

Phone/Cell: \_\_\_\_\_ Email: \_\_\_\_\_

**Parcel Number of Affect Property:** 61-07-\_\_\_\_\_

Legal Description: (See Attached)

Address of Property: \_\_\_\_\_

Current Zoning:  Low Density Residential (R-1)  Industrial District (D-1)  
 Medium Density Residential (R-2)  Manufactured Home District (RM)  
 Neighborhood Commercial (C-1)  Regional Commercial (C-2)  
 Agriculture/Resource Conservation (RC/AG)

Present Use of Property:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Reason for Site Plan Review:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Please answer the following questions in detail:

1. How will the proposed use impact the surrounding properties as it relates to the following areas?

Noise: \_\_\_\_\_  
\_\_\_\_\_

Dust: \_\_\_\_\_  
\_\_\_\_\_

Odor: \_\_\_\_\_  
\_\_\_\_\_

Safety: \_\_\_\_\_  
\_\_\_\_\_

Traffic: \_\_\_\_\_  
\_\_\_\_\_

Light: \_\_\_\_\_  
\_\_\_\_\_

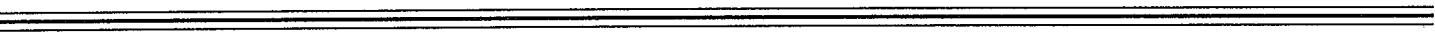
3. What are the proposed hours of operation? \_\_\_\_\_  
\_\_\_\_\_

4. Are you required to obtain any special license or permits through any other government agency? \_\_\_\_\_  
If yes, what type of licenses and permits are required? \_\_\_\_\_  
\_\_\_\_\_

5. If this application is for day care, how many children will you be caring for? \_\_\_\_\_  
\_\_\_\_\_

6. If this application is for an assisted living facility, how many units will you have in the facility?  
\_\_\_\_\_

7. How many employees/shifts will work at the facility? \_\_\_\_\_  
\_\_\_\_\_



# SITE PLAN REVIEW STANDARDS

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## The regulations listed in Chapter 17: Site Plan Standards are intended to promote;

- A. Safe and convenient traffic movement; both within a site and in relation to access streets;
- B. Harmonious relationships of buildings, structures, and uses, both within a site and with adjacent sites;
- C. Conservation of natural amenities and resources; and
- D. Compliance with the provisions of this Ordinance and all other applicable Township, State, and federal laws.

### 17.3 Data Required for Site Plans

*(Please refer to the Dalton Township Zoning Ordinance Chapter 17 at [www.daltontownship.org/zoning](http://www.daltontownship.org/zoning) for detailed descriptions of any items listed below):*

Site plans shall show the following information;

\_\_\_\_\_ Geographic Location

\_\_\_\_\_ Name, address and phone # of applicant/property owner

\_\_\_\_\_ Name of development

\_\_\_\_\_ North Arrow

\_\_\_\_\_ Legend

\_\_\_\_\_ Location: A location map that shows the location of the project in the broad context of the Township.

\_\_\_\_\_ Scale: Development site plans shall be drawn to a readable scale, such that all features required to be shown on the plans are readily discernable.

\_\_\_\_\_ Existing natural, man-made, and legal features- Site development plans shall show all existing natural, man-made, and legal features on the lot where the development is to take place.  
(Refer to 17.3 (8) for additional details).

\_\_\_\_\_ Proposed changes in existing features, proposed new legal features, and proposed man-made features.  
(Refer to 17.3 (9) for additional details).

\_\_\_\_\_ All outdoor illumination with lighting fixtures. (Also refer to section 4.25 for additional lighting requirements)

\_\_\_\_\_ All parking areas, proposed and existing.

\_\_\_\_\_ Proposed and existing landscaping. (Refer to Section 4.37 for buffering requirements)

\_\_\_\_\_ Proposed changes in existing features or new features. (Refer to 17.3 (9) for additional details).

**17.3 (10)** In addition to the written application and the plans, whenever the nature of the proposed development makes information and documents such as the following relevant, such documents or information shall be provided;

- a) Documentation confirming that the applicant has a legally sufficient interest in the property proposed for development to use it in a manner requested, or is the duly appointed agent of such a person.
- b) For all Commercial and Industrial site plans, the applicant shall provide a written business plan that describes in detail the nature of the proposed use. This document will be utilized to determine if the use is permissible within the applicable zone district and its compatibility with the surrounding land uses.
- c) Certifications from the appropriate agencies that proposed utility systems are or will be adequate to handle the proposed development and that all necessary easements have been provided.
- d) Legal documentation establishing property owner associations or other legal entities responsible for control over required common areas and facilities.
- e) Letters of credit or other surety devices.
- f) Time schedules for the completion of phases in the occurrence of a staged development.
- g) Calculations for drainage and storm water design detention/retention.

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**17.4 Standards for Granting Site Plan Approval**

Each site plan shall conform to the applicable provisions of this Ordinance and the standards listed:

\_\_\_\_\_ Site plan demonstrates that buildings, parking areas, signs, walls, fences, and the like are designed to minimize adverse effects on development users and the occupants of adjacent properties.

\_\_\_\_\_ Site plan demonstrates that as many natural features as possible have been retained, particularly where such features provide a buffer between adjoining properties or assist in preserving the general appearance of the neighborhood or help control soil erosion or storm water.

\_\_\_\_\_ Site plan shall conform to the driveway and traffic standards of the Michigan Department of Transportation and the Muskegon County Road Commission. The site plan should demonstrate that there is proper relationship between existing and proposed roadways, parking areas, and that the safety and convenience of the pedestrian and vehicular traffic has been assured. (Refer to section 4.46 for M-120 & Whitehall Management Overlay District Regulations)

\_\_\_\_\_ Site plan shall fully conform to the applicable fire safety and emergency vehicle access requirements of the Muskegon County Construction Code.

\_\_\_\_\_ Site plan shall fully conform to the Muskegon County Drain Commission standards. Drainage design should recognize existing natural drainage patterns. Storm water removal shall not adversely affect neighboring properties or the public storm drainage system. Provisions shall also be made to accommodate storm water on-site wherever practical, and prevent direct discharge into surface waters.

\_\_\_\_\_ Site plan should fully conform to the Muskegon County Soil Erosion and Sedimentation Control Ordinance.

\_\_\_\_\_ Site plan should demonstrate that reasonable precautions will be taken to prevent hazardous materials from entering the environment; hazardous materials should be at least 200 feet from any wetland, lake or stream, and all-purpose floor drains should not be connected to septic system; secondary containment facilities shall be provided for all hazardous materials of sufficient size to hold the entire volume of the materials; and wells shall be properly maintained and sealed and abandoned wells shall be plugged and capped according to state requirements.

\_\_\_\_\_ Site plan should fully conform to the requirements of the Michigan Department of Public Health and the Muskegon County Health Department.

\_\_\_\_\_ Site plan should fully conform to all applicable state and federal statutes.

\_\_\_\_\_ Site plan should fully conform to the land use policies, goals and objectives of the Dalton Township Master Plan.

**NOTE:**

Depending upon the size, complexity, location or other factors relating to the proposed Site Plan Review, some of the above information may not be necessary. The Zoning Administrator may request that you provide additional documents if needed. The more information you supply with this application, the earlier a decision can be rendered.

**Prior to the establishment of any new use, addition to an existing use or the erection of any structure in any zoning district, a complete site plan shall be reviewed and approved by the Planning Commission.**

All inspections, **Health Department, Fire Chief, Building Department, etc.,** must be completed and finalized once the Site Plan Review is approved by the Planning Commission.

- You may contact the **Zoning Administrator** at (231) 332-6706 with any questions you may have.
- The **Building Inspector** at (231) 332-6705, with any questions regarding building requirements and inspections.
- The **Dalton Township Fire Chief** at (231) 766-3277 with any questions regarding the Fire Safety Inspection.

**I HAVE READ THIS LIST OF REQUIREMENTS.**

\_\_\_\_\_  
*Applicant Signature*

*Date* \_\_\_\_\_

\_\_\_\_\_  
*Owner Signature if different from Applicant*

*Date* \_\_\_\_\_

# Site Plan of Property and Location of ALL Structures

**\* Important \*** Show all Existing and Proposed Structures; Owner Name and Address, Parcel #, Street Name, North Arrow, Parcel Dimension, Existing Structures including setbacks and approaches, Proposed Structures including setbacks and approaches, Front Rear and Side Yard Setbacks, Well and Septic, Driveway (access) with pavement type, decks, cement patios, cement walkways.

Parcel #: \_\_\_\_\_ Zoning: \_\_\_\_\_ Dimensions: \_\_\_\_\_

Side Lot Line or Side Street

Side Lot Line or Side Street

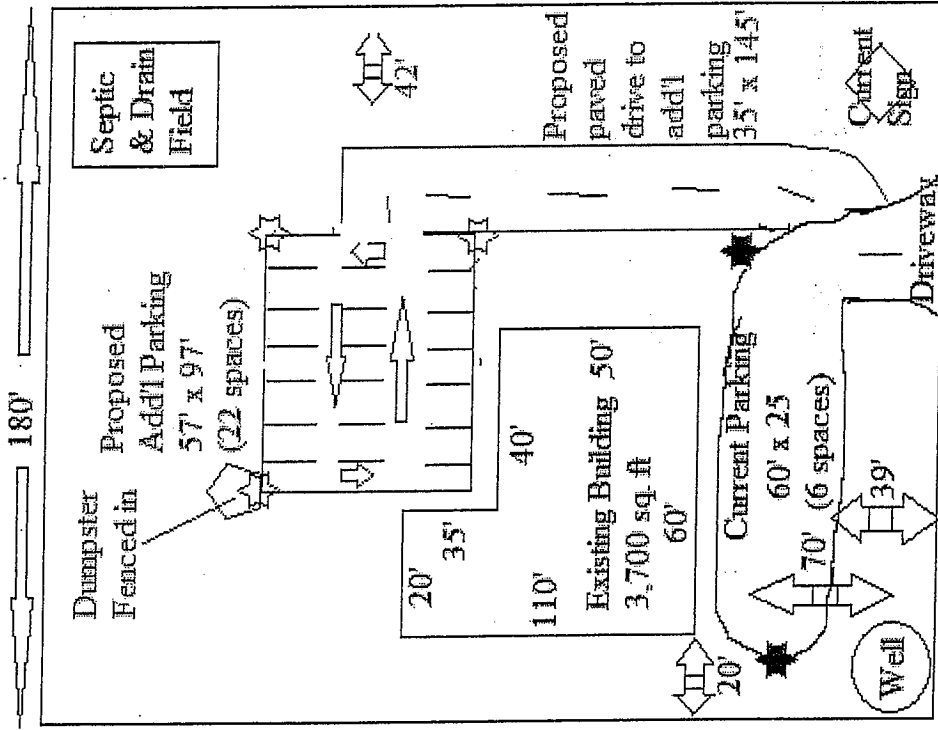
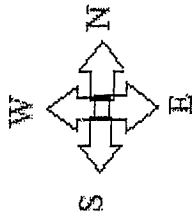
Road Right of Way (typically 33' from the road center)

Site Address: \_\_\_\_\_

Owner Name: \_\_\_\_\_

**EXAMPLE COMMERCIAL SITE PLAN**

Parcel Number: 61 - 07 - 000 - 000 - 0000 - 00



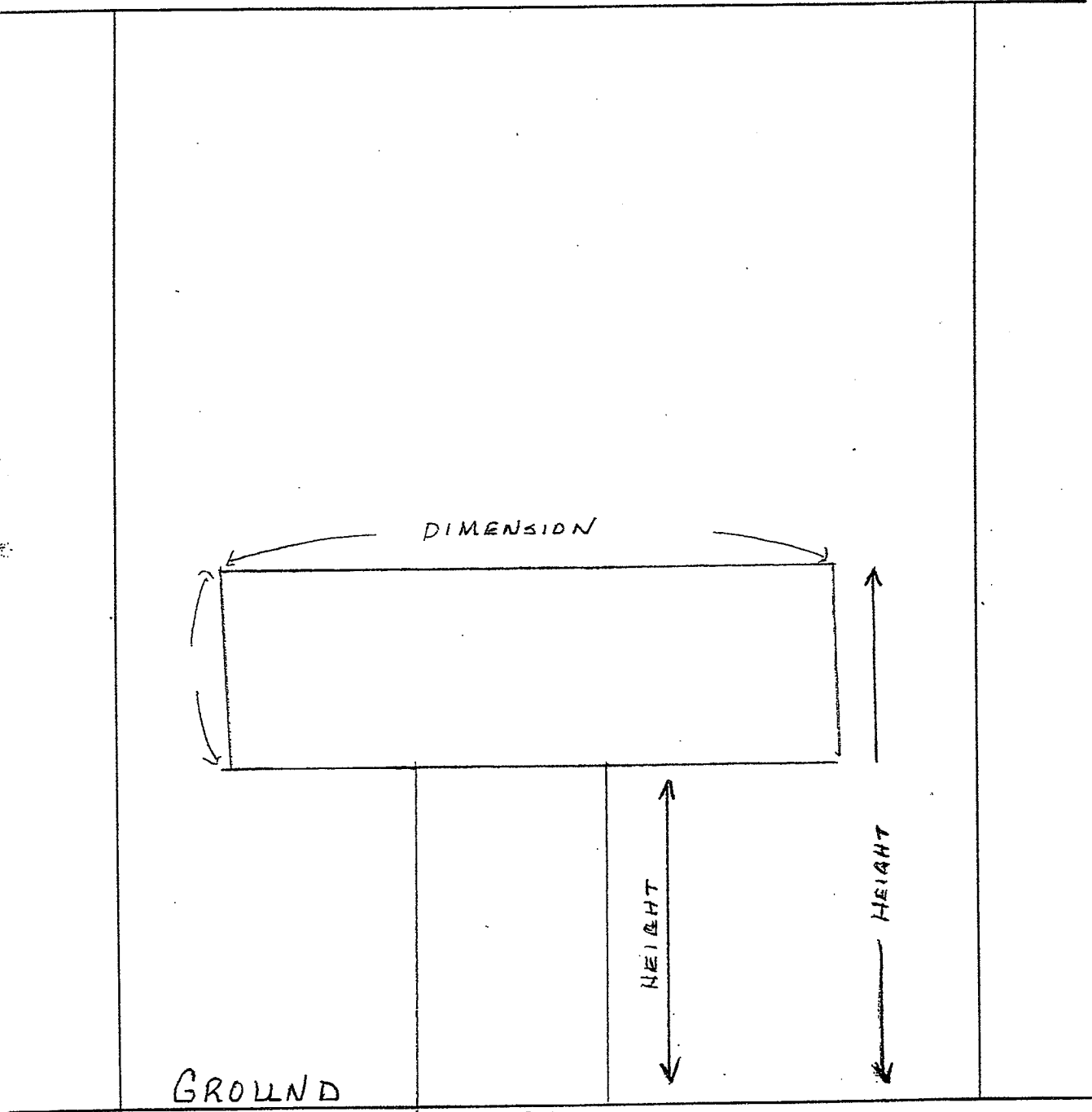
★ Current Lights  
☆ Proposed Lights

100 Dalton Street  
(street access)

Property Owner: John Doe  
 Applicant: Jane Doe (231) 000-0000  
 Address: 100 Dalton Street  
 Zoning: C-2

# SIGN

Parcel #: \_\_\_\_\_ Dimensions: \_\_\_\_\_



Site Address: \_\_\_\_\_



# Site Plan of Property and Location of ALL Structures

**\* Important \*** Show all Existing and Proposed Structures; Owner Name and Address, Parcel #, Street Name, North Arrow, Parcel Dimension, Existing Structures including setbacks and approaches, Proposed Structures including setbacks and approaches, Front Rear and Side Yard Setbacks, Well and Septic, Driveway (access) with pavement type, decks, cement patios, cement walkways.

Parcel #: \_\_\_\_\_ Zoning: \_\_\_\_\_ Dimensions: \_\_\_\_\_

Road Right of Way (typically 33' from the road center)

Site Address: \_\_\_\_\_ Owner Name: \_\_\_\_\_